

TOWNSHIP OF RYERSON

COMMITTEE OF ADJUSTMENT

**Application for Minor Variance Planning Act S. 45 (1)
or For Permission Planning Act S. 45 (2)**

File # A ____/____

The undersigned hereby applies to the Committee of Adjustment for the Township of Ryerson under section 45 of the Planning Act for relief, as described in the application, from Zoning By-Law #56-14 (as amended).

1. Name of Owner Jessica Danielle Baker

Email address ████████████████████

Telephone Number ██████████ Property Roll #

2. Address 640 Bartlett Lake Rd, Sprucedale, ON, P0A 1Y0

3. Name of Agent (if any) Trina Clarke (Evolve Interior Design)

Agent Email address ████████████████████

Agent Phone Number ██████████

4. Agent Address 370 Muskoka Rd 10, Port Sydney, ON, P0B 1L0

Note: Unless otherwise requested, all communications will be sent to the agent, if any.

5. Present Official Plan designation applying to the land:

Shoreline

6. Present Zoning By-Law provisions applying to the land: WR - Waterfront Residential

7. Nature and extent of relief applied for: _____
Dwelling - Front yard setback - 39'-0.75" (11.9m) = variance of 26'-5" (8.1m)
Dwelling - Rear yard setback - 20'-5.75" (6.24m) = variance of 12'-4" (3.76m)
Dwelling - Main Level Covered Porch: Front yard setback (3m into any req'd yard) - 31'-2.5" (9.51m) = variance of 24'-5.5" (7.5m)
Dwelling - Main Level Covered Porch: Rear yard setback (3m into any req'd yard) - 19'-6" (5.95m) = variance of 3'-5.5" (1.1m)
Dwelling - Upper Level Covered Porch: Front yard setback - 39'-0.75" (11.91m) = variance of 26'-5" (8.1m)
Garage Addition - Front yard setback - 56'-8.75" (17.29m) = variance of 8'-9" (2.67m)

8. Why is it not possible to comply with the provisions of the by-law? _____
Due to the shape of the existing property, the front and rear yard setbacks for the Dwelling, Covered Porch, Upper Level Covered Porch, Garage Addition
_____ are not able to adhere to the zoning by-laws.

9. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number): Part of Lot 23, Concession 1, Parts 8 & 9, 42R-9585, Part of Lot 22, Concession 1, Part of Lot 23, Concession 1, Part 2, 42R-9585, S/T Right-of-way over Part 8, 42R-9585 as in LT30068, Township of Ryerson, District of Parry Sound

10. Dimensions of subject land: Frontage: 585.5'
Depth: 104.5'
Area: 43068.5 sq.ft. (0.99 Acres)

11. Access to the subject lands is by (check applicable space):
Provincial Highway _____
Municipal Road _____ Seasonal _____ All Year _____
Other Public Road (specify) _____
Right-of-Way _____
Water _____

If access to the subject land is by water only, the parking and docking facilities to be used:
N/A

Distance of this facility from the subject land and the nearest public road: N/A

12. Existing uses of the subject property: Year round residential

13. Existing uses of abutting properties: Year round residential

14. Proposed uses of the subject property: Year round residential

15. Are there any buildings or structures on the subject land? Yes No

16. Particulars of all buildings and structures on or proposed for the subject land. Specify ground floor area, gross floor area, number of stories, width, length, height, etc:

Existing: Refer to site information

Proposed: Refer to site information

17. Location of all buildings and structures on or proposed for the subject land, specify distance from side, rear and front of lines:

Existing: Refer to site plan

Proposed: Refer to site plan

18. Date of acquisition of subject land: February 1, 2016

19. Date of construction of all buildings and structures on subject land: Refer to site information

20. Length of time the existing uses of the subject property have continued: 50+ years

21. Water is provided to the subject land by:
Publicly owned/operated water system ____
Privately owned/operated individual well X
Privately owned/operated communal well ____
Lake or other water body ____
Other means (specify) _____

22. Sewage Disposal is provided to the subject land by:
Publicly owned/operated sanitary sewage system ____
Privately owned/operated communal septic system ____
Privately owned/operated individual septic system X
Privy ____
Other means (Specify) _____

23. Storm Drainage is provided to the subject land by:
Sewers _____ Ditches Swales _____ Other means (Specify) _____

24. Has the owner previously applied for relief in respect of the subject property?
Yes _____ No
If yes, please describe:

28. Is this subject property the subject of a current application for consent under Section 53
the Planning Act? Yes _____ File No. _____ Status _____
No

If known, indicate if the subject land is the subject of an application under the Planning Act for:

Approval of a plan of subdivision (Section 51) File No. _____ Status _____

Previous Application (under Section 45) File No. _____ Status _____

There are additional requirements when submitting this application.

Read the Note: section below prior to submitting and be prepared to produce the necessary plans, monies and signed declarations. Contact the Municipal Office for further clarification, if necessary.

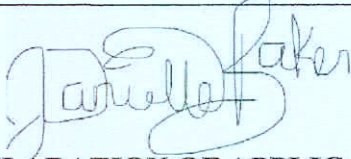
Note:

1. One copy of this application will be filed with the Secretary-Treasurer of the Committee of Adjustment, together with the plan referred to in Note 2, accompanied by the current administration fee and/or deposit in cash or by cheque made payable to the Township of Ryerson. **Any and all extra charges associated with the application for a Minor Variance shall be the applicant's responsibility.**
2. One plan must be submitted that show the dimensions of the subject land and all abutting land and showing the location, size and type of all buildings and structures on the subject and abutting land. The Committee of Adjustment may require that the plan be signed by an Ontario Land Surveyor.

3. A signed and witnessed *Declaration of Applicant or Authorized Agent* must be submitted to the Municipal Office.

AUTHORIZATION BY OWNER

I, Jessica Danielle Baker, the undersigned, being the owner of the subject
Please Print Name
land, hereby authorize Trina Clarke (Evolve Interior Design) to be the applicant in
the submission of this application.



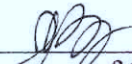
DECLARATION OF APPLICANT

I, Trina Clarke (Evolve Interior Design) of the Town of Port Sydney
in the District of Muskoka solemnly declare that:

All the statements contained in this application and provided by me are true and I make this
solemn declaration conscientiously believing it to be true and knowing that it is of the
same force and effect as if made under oath.

DECLARED before me at the Town
of Huntsville
In the District of Muskoka
This 3 day of April, 2025.

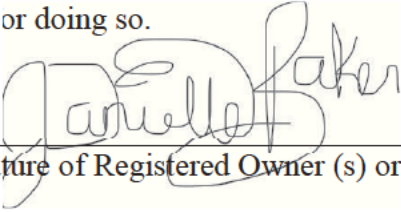
Trina Clarke
Signature of Applicant


Signature of Commissioner etc.

PERMISSION TO ENTER

I hereby authorize the members of staff and/or elected members of Council of the Township of Ryerson to enter upon the subject lands and premises for the limited purpose of evaluating the merits of this application. This is their authority or doing so.

September 9, 2024
Date


Signature of Registered Owner (s) or Agent

Personal Information contained on this form, collected pursuant to the Planning Act, will be used for the purpose of responding to the initial application. Questions should be directed to the Municipal Freedom of Information and Privacy Coordinator at the institution conducting the procedures under the Act.

Filed in: M:\COREL\WPDATA\Planning Documents\Minor Variance\Minor Variance Application

SCHEDULE 'A'

A Plan is required showing the following:

- The boundaries and dimensions of the subject land
- The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard line, rear yard lot line and the side yard lot lines
- The approximate location of all natural and artificial features on the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- The current uses on land that is adjacent to the subject land.
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and the nature of any easement affecting the subject land.

STRUCTURES



STRUCTURE	DATE OF CONSTRUCTION	GROUND FLOOR AREA (sq.ft.)	GROSS FLOOR AREA (sq.ft.)	# OF STORIES	WIDTH	LENGTH	HEIGHT
EXISTING:							
DWELLING (REPLACE)	1989	907.5	1375	1.5	24'-10"	36'-6"	22'-0"
COVERED PORCH (REPLACE)	1989	150.6	150.6	1	19'-1"	7'-9"	10'-0"
SHED 1 (DEMOLISH)	-	100.5	100.5	1	8'-4"	12'-1"	12'-0"
SHED 1 - ROOF OVERHANG (DEMOLISH)	-	43.2	43.2	1	7'-3"	6'-0"	10'-0"
GARAGE	2007	683.2	683.2	1	24'-3"	28'-2"	16'-0"
SHED 2 (DEMOLISH)	-	92.8	92.8	1	9'-0"	10'-2"	16'-0"
SHED 2 - ELEVATED DECK (DEMOLISH)	-	51.6	51.6	1	5'-2"	10'-2"	8'-0"
PLAYHOUSE	2000	13	13	1	3'-2"	11'-6"	10'-0"
PROPOSED:							
DWELLING	-	1800	3200	2	30'-0"	60'-0"	31'-5"
COVERED PORCH	-	784	784	1	8'-0"	68'-0"	14'-7"
GARAGE - ADDITION	-	243	243	1	10'-0"	24'-3"	

Evolve Interior Design
 Trina Clarke
 Phone: 705-571-4761
 E-mail: trina@evolveid.ca



PROPERTY

ADDRESS:	640 Bartlett Lake Rd	
MUNICIPALITY:	Ryerson	
LOT / CON:	Part of Lots 22 & 23	1
ZONING:	WR - Waterfront Residential	
LAKE (CATEGORY):	Rainy Lake	

LOT AREA (TOTAL):	43068.5 sq.ft. (0.99 Acres) (Survey)
LOT AREA (W/IN 200' HIGH WATER MARK):	N/A
FRONTAGE:	585.5' (178.47m) (Survey)

ZONING BY-LAW: (WR)	LOT COVERAGE	10% (MAIN), 5% (ACCESSORY)
	FRONT YARD SETBACK	65.5' (20m)
	SIDE YARD SETBACK	9.8' (3m) - INT, 49.2' (15m) - EXT
	REAR YARD SETBACK	32.8' (10m)
	HEIGHT	32.8' (10m) (MAIN), 19.7' (6m) (ACC.)
	LANDSCAPED OPEN SPACE (MIN.)	30%
	# STRUCTURES (MAX)	1 DWELLING, 4 ACCESSORY
	SETBACK ENCROACHMENT	DECK - 3.3' (1m) (SIDE), 4.9' (1.5m) (OTHER), MAX. 3.3' FROM LOT LINE

ALLOWED:	LOT COVERAGE (TOTAL)	4306.85 sq.ft. (MAIN)
	LOT COVERAGE (TOTAL)	2153.43 sq.ft. (ACCESSORY)
	W/IN 200'	N/A



PROPERTY

EXISTING LOT COVERAGE:	DWELLING (REPLACE)	907.5
	COVERED PORCH (REPLACE)	150.6
	SHED 1 (DEMOLISH)	100.5
	SHED 1 - ROOF OVERHANG (DEMOLISH)	43.2
	GARAGE	683.2
	SHED 2 (DEMOLISH)	92.8
	SHED 2 - ELEVATED DECK (DEMOLISH)	51.6
	PLAYHOUSE	13
	TOTAL	2042.4

PROPOSED LOT COVERAGE: (sq.ft.)	DWELLING	1800
	COVERED PORCH	784
	GARAGE	683.2
	GARAGE - ADDITION	243
	PLAYHOUSE	13
	TOTAL	3523.2

Evolve Interior Design
 Trina Clarke
 Phone: 705-571-4761
 E-mail: trina@evolveid.ca

2.64 Lot Line, Front:

- a) In the case of an *interior lot*, the *line* dividing the *lot* from the *street* or private right-of-way;
- b) In the case of a *corner lot*, the shorter *lot line* abutting a *street* or private right-of-way shall be deemed the *front lot line* and the longer *lot line* abutting a *street* or private right-of-way shall be deemed a *side lot line*;
- c) In the case where a *lot* fronts upon a *watercourse*, the *high water mark* shall be deemed to be the *front lot line*; or
- d) In the case of a *through lot*, the *lot line* where the principal access to the *lot* is provided shall be deemed to be the *front lot line*, with the exception of where the *lot* abuts the *high water mark*, in which case the *high water mark* is the *front lot line*.

3.1.10 Garages or Other Accessory Buildings or Structures

Notwithstanding the *yard* and *setback* provisions of this By-law to the contrary, an attached or detached private *garage* or other *accessory building* or *structure* may be *erected* and used in a *side* or *rear yard*, provided that:

- i) where such *accessory building* or *structure* is located in an *interior side yard*, it shall not be closer than 3 metres (9.8 feet) to the *interior side lot line* or 10 metres (32.8 feet) to an *exterior side lot line*;
- ii) where such *accessory building* or *structure* is located in a *rear yard*, it shall not be closer than 3 metres (9.8 feet) to the *rear lot line* except, where the *rear lot line* abuts a municipally maintained road, where it shall not be closer than 10 metres (32.8 feet) to the *rear lot line*;
- iii) Notwithstanding the foregoing provisions, no *accessory building* or *structure* shall be *erected* closer than 6 metres (19.7 feet) to an *interior side lot line* within any Commercial (C) or Industrial (I) *zone*; and
- iv) A maximum of one detached *garage* is permitted on a *lot*.

3.1.11 Decks, Steps, Balconies, Verandahs or Patios

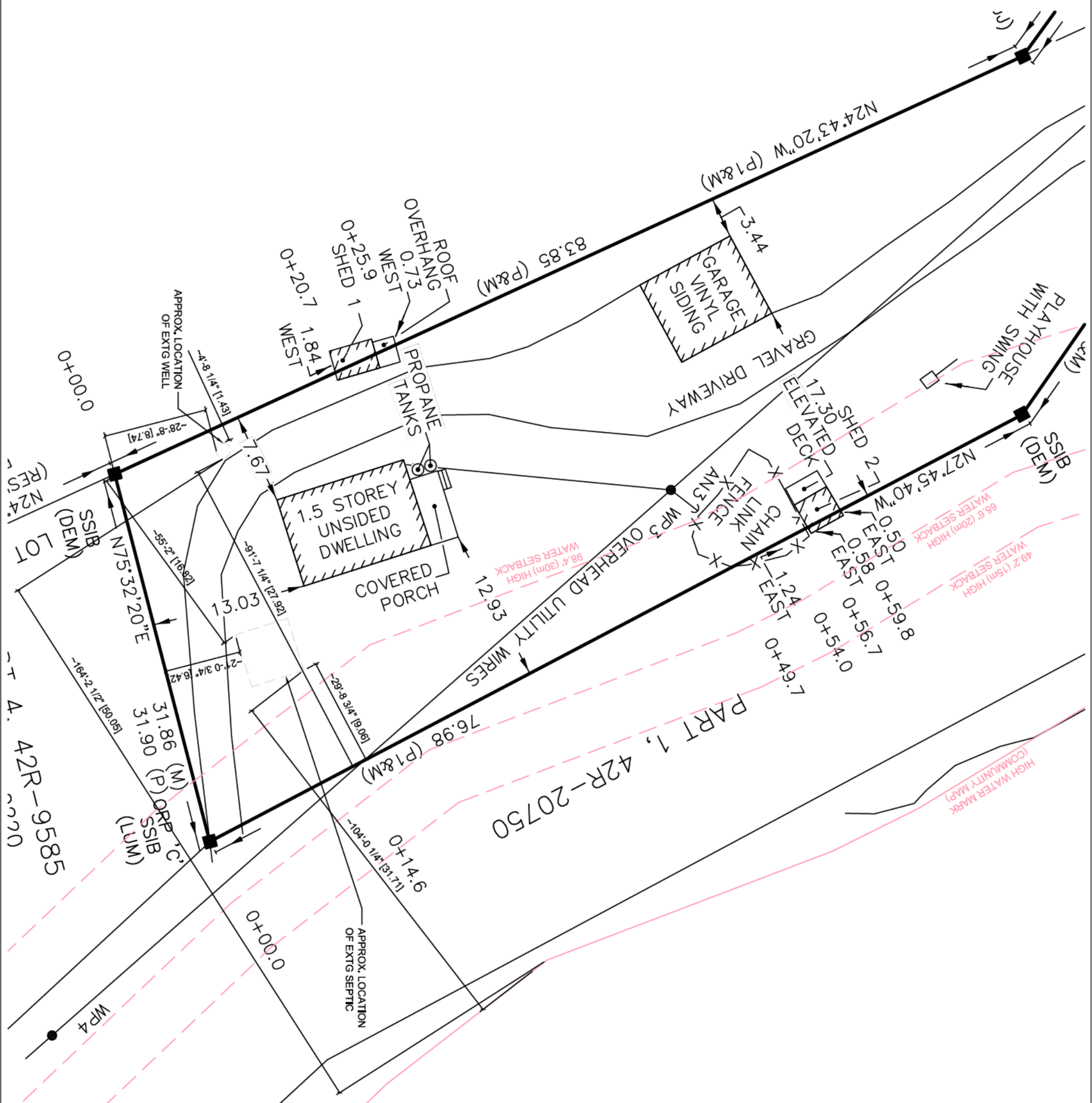
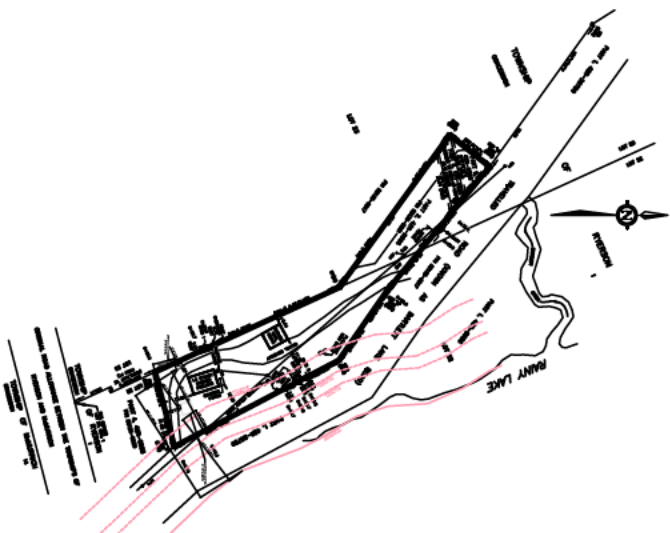
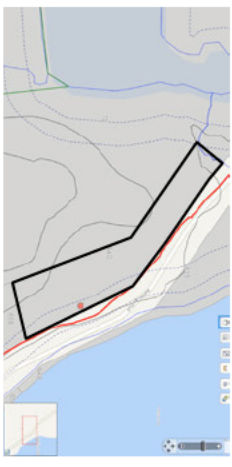
Notwithstanding the *yard* and *setback* provisions of this By-law, *decks*, balconies, steps and patios, may project into any *required yard* a maximum of 3 metres (9.8 feet), but not closer than 1.5 metres (4.9 feet) to any *lot line*, where the floor of any *porch*, balcony, or *deck* is more than 1.0 metres (3.3 feet) above *finished grade* the *setback* requirements for the principal use shall apply.

3.4.5 Permitted *Non-Complying Building or Structure*:

Nothing in this By-law shall prevent the reconstruction, relocation, renovation, enlargement or repair of an *existing building or structure* on a *lot* that does not comply with the *setback* and *yard* requirements of this By-law, which existed at the date of passing of this By-law, and which is used for a purpose specifically permitted within the Zone in which such *building or structure* is located, provided:

- i) there is no further encroachment into the required *setback* or *yard*;
- ii) any addition to the *existing building or structure* maintains the *existing setback* from the *high water mark* or 15 metres (49.2 feet), whichever is greater;

- iii) if the reconstruction or relocation would result in an increase to the *gross floor area* of the *building or structure*, that the entire *building or structure* maintains the *existing setback* from the *high water mark* or 15 metres (49.2 feet), whichever is greater;
- iv) approval for a *septic system* is obtained, where applicable; and,
- v) it is in compliance with all other provisions of this By-law.



TRINA CLARKE
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 Registered Interior Designer
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 Website: www.evolveltd.ca

CONSULTANTS:
 BOUNDARY & EXISTING FEATURE INFORMATION IS BASED ON SURVEY PROVIDED BY KPK SURVEYING INC. DATED 22MARCH23.

PROJECT:
BOND DWELLING
 640 BARTLETT LAKE RD
 TOWNSHIP OF RYERSON

ITEM #	DATE	DESCRIPTION
1	08MAY23	ISSUED TO CLIENT
2	27JUNE23	ISSUED TO CLIENT
3	28JUNE23	ISSUED TO CLIENT
4	14MAY24	ISSUED TO CLIENT
5	-	-
6	05SEP24	ISSUED TO CLIENT
7	09SEP24	ISSUED FOR MV
8	06JAN25	REV. AS PER CLIENT
9	07JAN25	REV. FOR MV
10	18FEB25	REV. FOR MV
11	04MAR25	REV. AS PER PLANNING
12	17MAR25	REV. FOR MV
13	01APR25	REV. AS PER PLANNING

NORTH:

SCALE: 1" = 30'

PROJECT #: EV-23-062

CAD DWG FILE: BOND-SITE PLAN

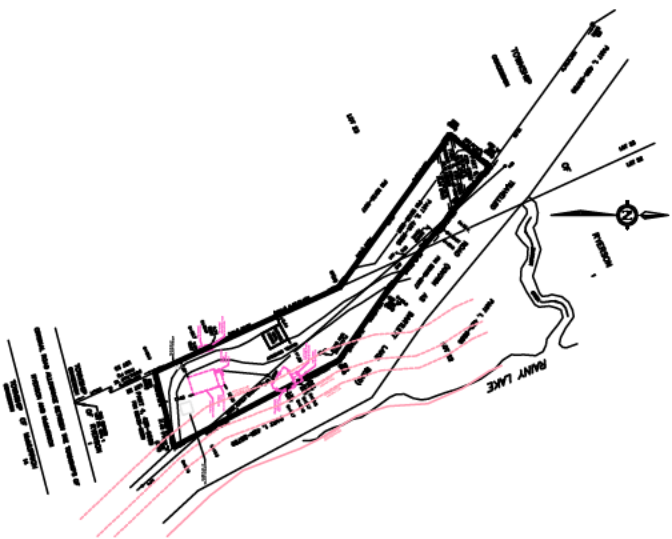
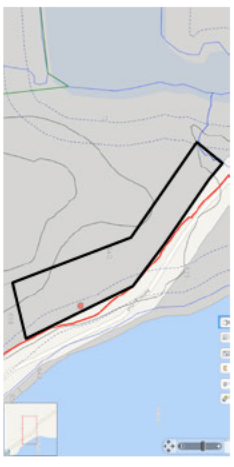
DRAWN BY: TRINA CLARKE

CHECKED BY: -

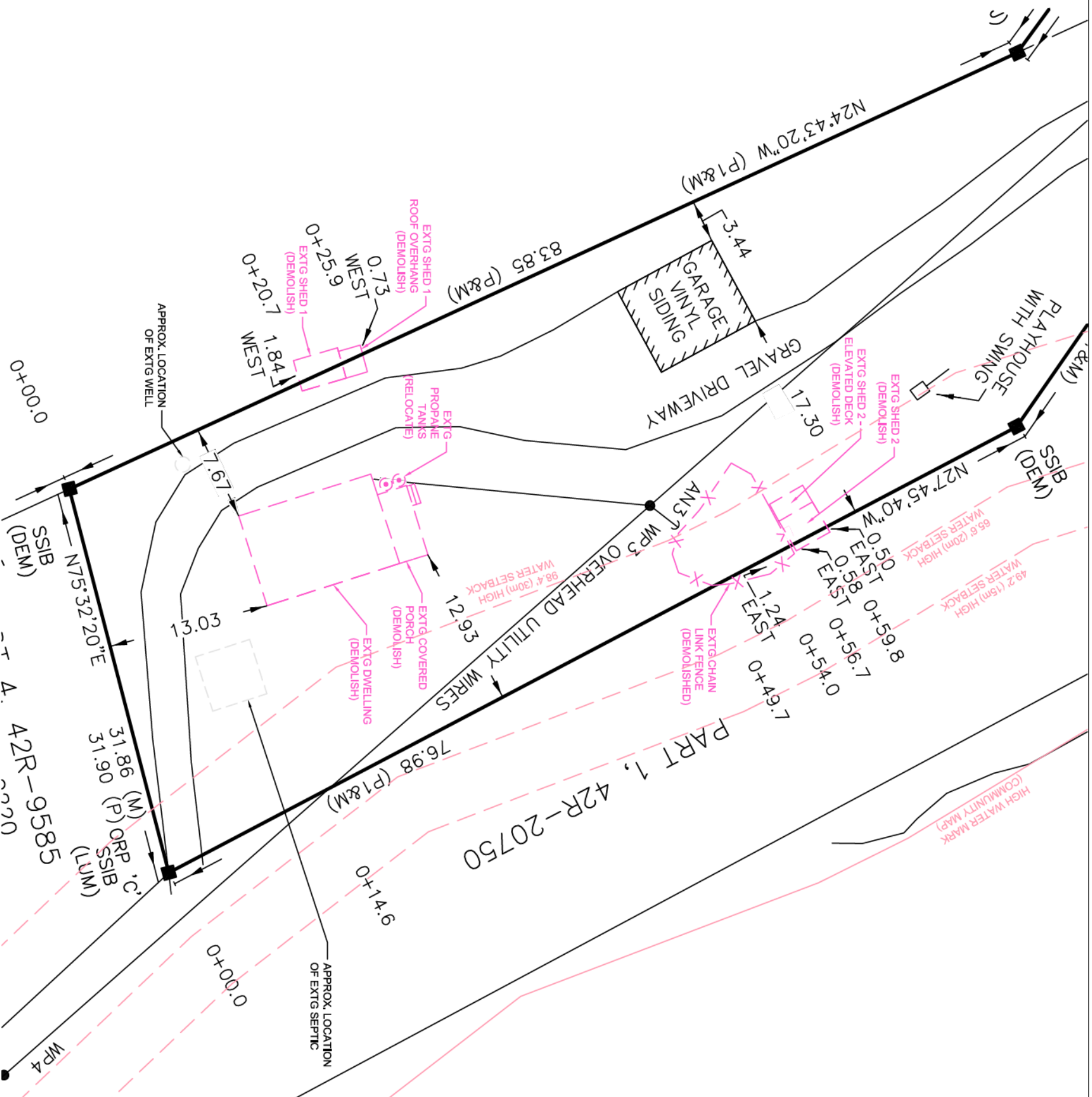
SHEET TITLE:

SITE PLAN - EXISTING

A0.0



KEY PLAN - N.T.S. (DERIVED FROM SURVEY)



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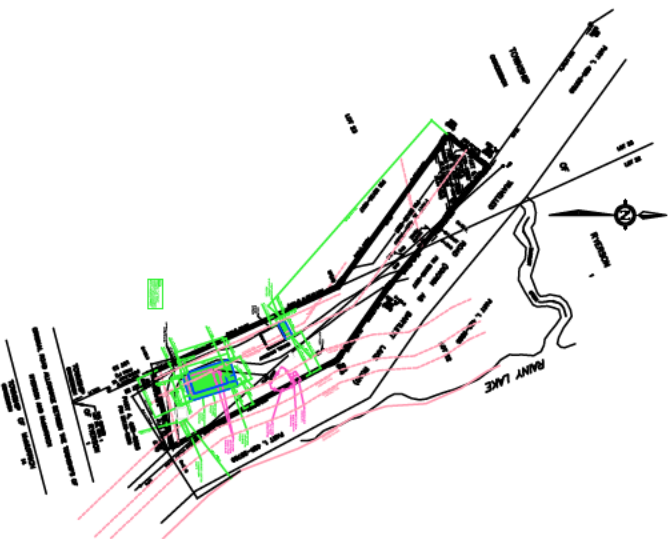
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2	-	-
3	-	-
4	-	-
5	-	-
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7	09SEP24	ISSUED FOR MV
8	06JAN25	REV. AS PER CLIENT
9	07JAN25	REV. FOR MV
10	18FEB25	REV. FOR MV
11	-	-
12	17MAR25	REV. FOR MV
13	01APR25	REV. AS PER PLANNING

NORTH:

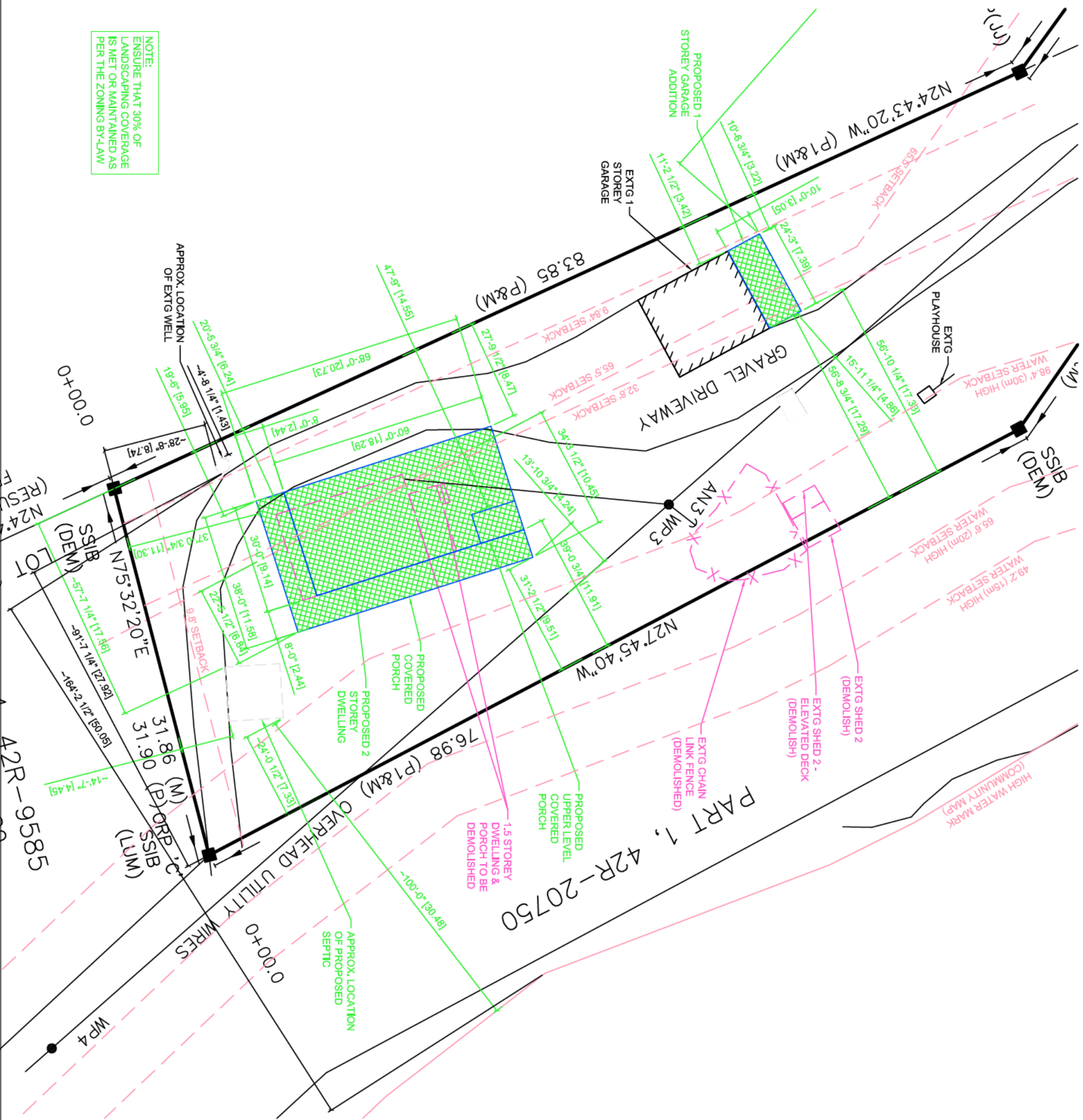
SCALE: 1" = 30'
PROJECT #: EV-23-062
CAD DWG FILE: BOND-SITE PLAN
DRAWN BY: TRINA CLARKE
CHECKED BY: -
SHEET TITLE:

SITE PLAN - DEMOLITION
A0.1



KEY PLAN - N.T.S. (DERIVED FROM SURVEY)

NOTE:
ENSURE THAT 30% OF
LANDSCAPING COVERAGE
IS MET OR MAINTAINED AS
PER THE ZONING BY-LAW



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12	17MAR25	REV. FOR MV
13	01APR25	REV. AS PER PLANNING

NORTH:

SCALE: 1" = 30'

PROJECT #: EV-23-062

CAD DWG FILE: BOND-SITE PLAN

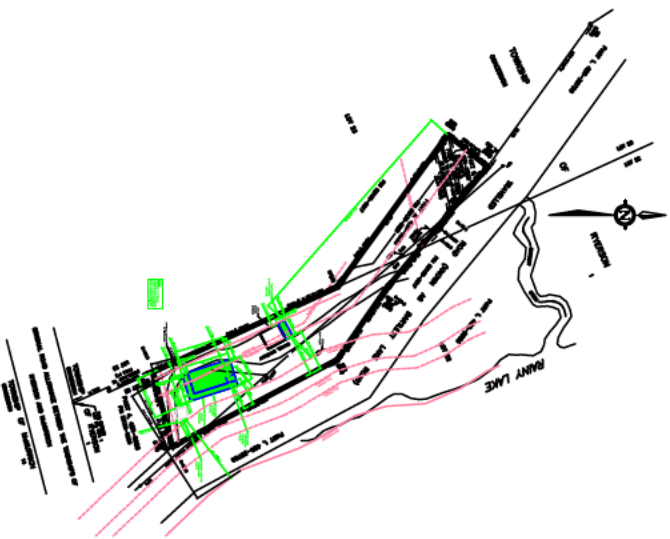
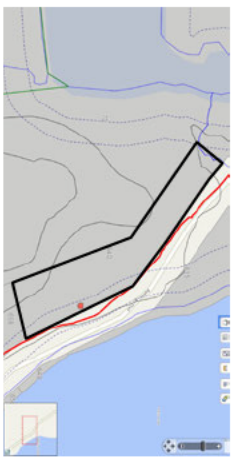
DRAWN BY: TRINA CLARKE

CHECKED BY: -

SHEET TITLE:

SITE PLAN - PROPOSED OVERLAY

A0.2



KEY PLAN - N.T.S. (DERIVED FROM SURVEY)

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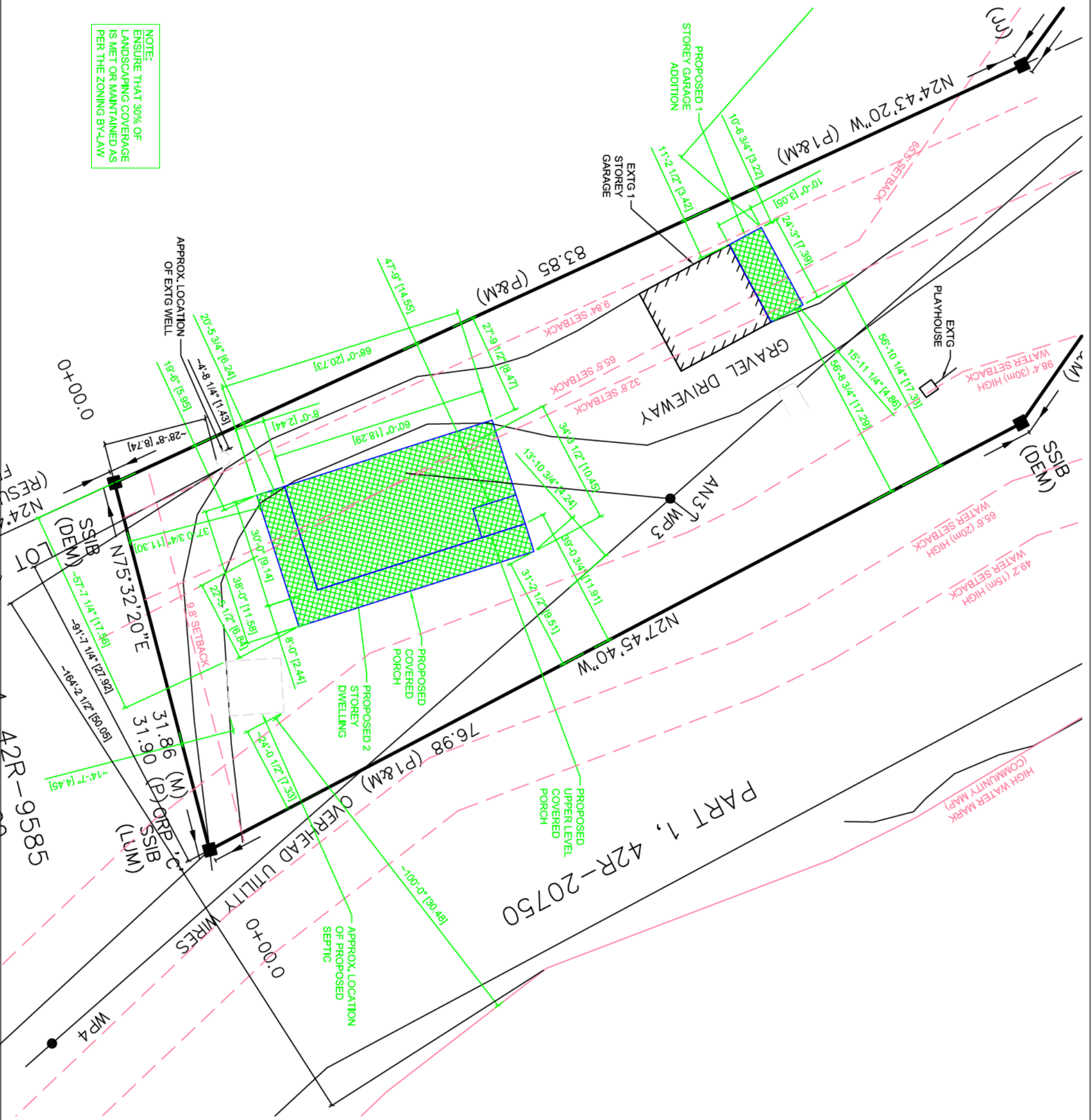
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12	17MARR25	REV. FOR MV
13	01APR25	REV. AS PER PLANNING

NORTH:

SCALE: 1" = 30'
PROJECT #: EV-23-062
CAD DWG FILE: BOND-SITE PLAN
DRAWN BY: TRINA CLARKE
CHECKED BY:
SHEET TITLE:

SITE PLAN - PROPOSED

A0.3



NOTE:
 ENSURE THAT 30% OF LANDSCAPING COVERAGE IS MET OR MAINTAINED AS PER THE ZONING BY-LAW



TOWNSHIP OF RYERSON
COMMITTEE OF ADJUSTMENT

April 16, 2025

Reference: File A2/25 – Minor Variance Application

640 Bartlett Lake Road, Sprucedale ON P0A 1Y0

Applicant – JESSICA DANIELLE BAKER

Purpose of Application:

The applicant is proposing to demolish / replace the existing ± 128 m² Single Detached Dwelling with a ± 298 m² Single Detached Dwelling on private services and in a similar on-site location to the existing dwelling; and construct a ± 23 m² addition to the existing detached Garage. Other existing on-site buildings and structures are proposed to be either demolished and removed (i.e., two sheds and one fence) or remain in place (i.e., one playhouse).

Setback provisions in Zoning By-law #56-14 are difficult to satisfy on-site due to the configuration of the subject property (see Attachment A). Therefore, the owner / applicant is seeking relief from the Zoning By-law to permit:

- a front yard setback of 11.9 m for a dwelling, where 20 m is required (see Section 4, Table 5);
- a rear yard setback of 6.2 m for a dwelling, where 10 m is required (see Section 4, Table 5);
- a front yard setback of 9.5 m for a ground level deck, where 17 m is required (see Section 3.1.11);
- a rear yard setback of 5.9 m for a ground level deck, where 7 m is required (see Section 3.1.11);
- a front yard setback of 11.9 m for an upper level deck, where 20 m is required (see Section 3.1.11); and
- a front yard setback of 17.3 m for a Garage addition, where 20 m is required (see Section 3.1.2).

Subject Property:

The subject property is located at 640 Bartlett Lake Road in Sprucedale. The property is legally described as PCL 26343 SEC 55; FIRSTLY: PT LT 23 CON 1 RYERSON PARTS 8 & 9, 42R9585; SECONDLY: PT LT 22 CON 1 RYERSON & PT LT 23 CON 1 RYERSON; PT 2, 42R9585; S/T PT 8, 42R9585 AS IN LT30068; RYERSON and PCL 26343 SEC 55; PT LT 22 CON 1 RYERSON PT 3, 42R9585; RYERSON (see Figure 1).



Figure 1 – Subject Property Location

The property is designated Shoreline on Schedule A of the Township Official Plan and zoned Waterfront Residential (WR) Zone on Schedule H3 of the Township Zoning By-law. Surrounding properties are designated Shoreline and zoned WR Zone along Rainy Lake; nearby properties to the west are designated Rural and zoned Rural (RU) Zone.

The subject property is irregular in shape and is approximately 0.4 ha in area with frontage of ± 178 m on Bartlett Lake Road and a lot depth ranging from ± 21 m to ± 31 m (see Figure 2).

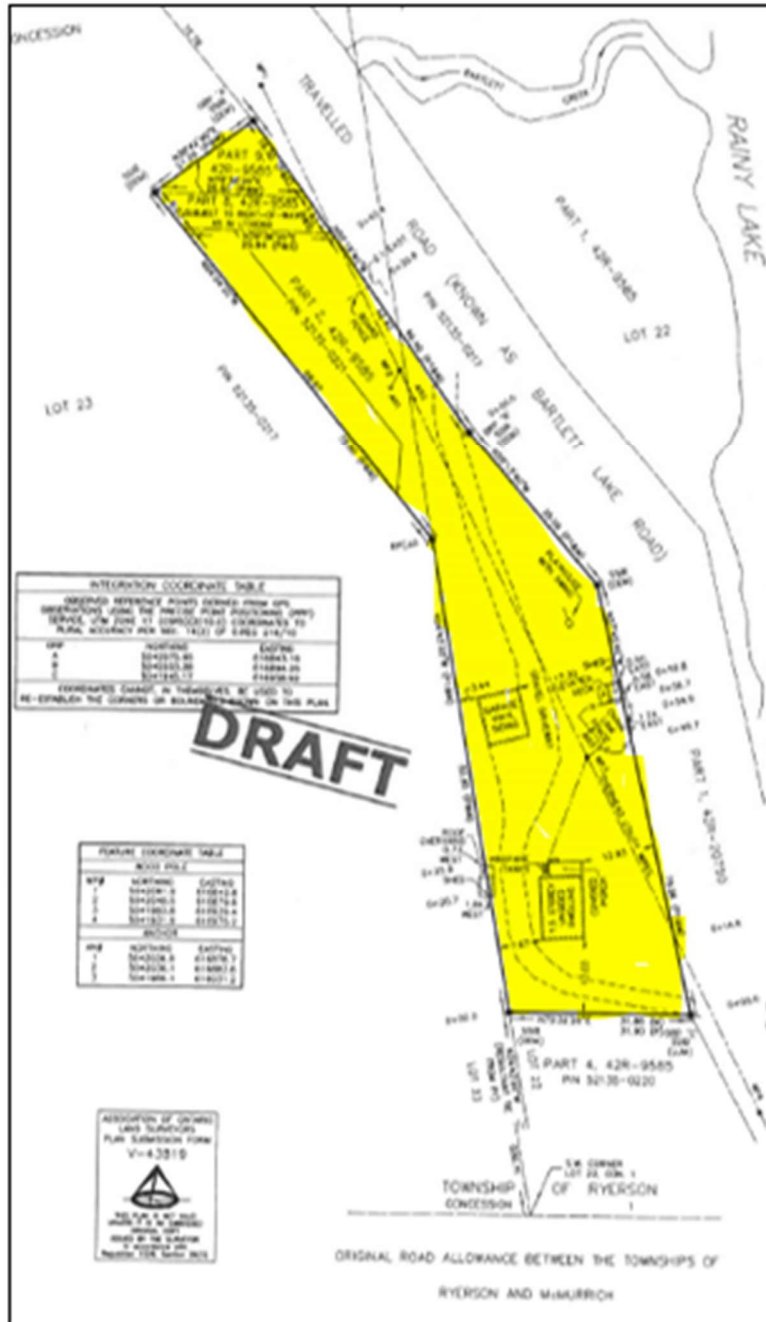


Figure 2 – Subject Property Configuration (applicant supplied draft survey)

The property contains a ± 128 m² Single Detached Dwelling on private services; a ± 64 m² detached Garage; a ± 1.2 m² playhouse; a ± 13 m² shed that is encroaching on the rear lot line; a ± 13 m² two storey shed with an elevated deck that is encroaching on the front lot line; and a chain link fence that is encroaching on the front lot line. The detached Garage and playhouse are proposed to remain in place; the other buildings and structures noted above are proposed to be demolished and removed (see Figure 3).

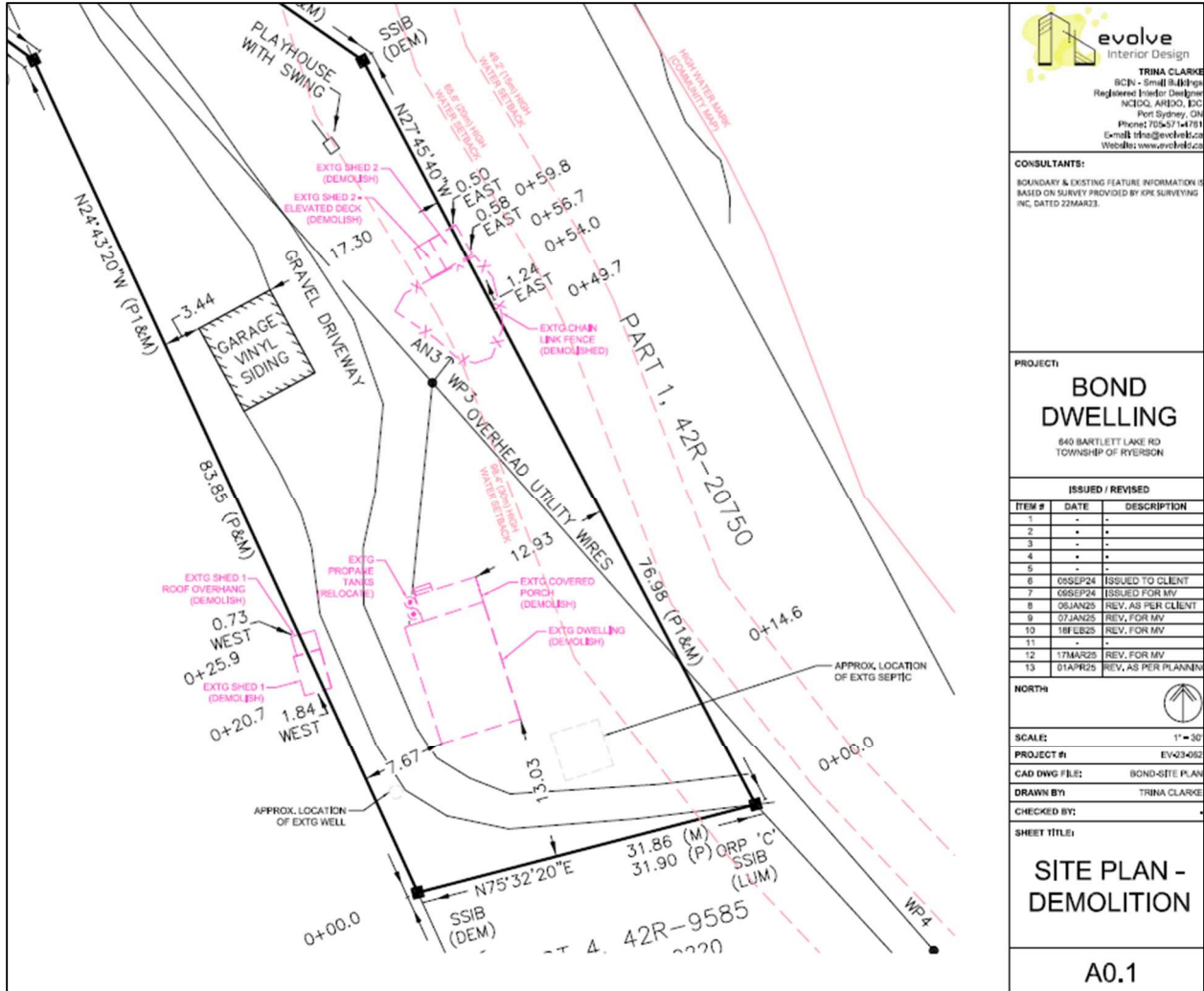


Figure 3 – Demolition Plan (applicant supplied sketch with mark-ups)

The proposed development includes replacing the existing Single Detached Dwelling with a new $\pm 298 \text{ m}^2$ two-storey dwelling on private services and in a similar on-site location to the existing dwelling; and constructing a $\pm 23 \text{ m}^2$ addition to the existing detached Garage which will not change its current front yard setback (see Attachment A).

Minor Variance Rationale:

Section 45(1) of the *Planning Act*, R.S.O. 1990 c. P.13, as amended, sets out four tests for a minor variance that must be met for the consideration of its approval.

- **Is the general intent and purpose of the Official Plan maintained?**

The Shoreline designation in the Official Plan applies to lands that generally abut and extend up to 150 m inland from waterbodies, including Rainy Lake. Section 4.2 states that the intent of the Shoreline designation is to promote residential development. This includes locations where there is minimal demand for public

services. Single Detached Dwellings are permitted in the Shoreline designation along with accessory uses such as Garages (Section 3.2), provided they are located on a year round municipally maintained road and appropriate sanitary sewage capacity is available.

Section 4.2.4 states that buildings and structures shall be located at least 20 m from the normal high water mark (except for septic systems, which must be located at least 30 m from the high water mark). Where terrain constraints make required setbacks difficult to achieve, a lesser setback can be considered, provided the general intent of the Official Plan is maintained. Development should account for stormwater mitigation to minimize water quality impacts, and the preservation, restoration and protection of the natural shoreline. The height of any structure should generally not exceed the height of the surrounding tree canopy.

The application conforms to the general intent and purpose of the Official Plan, as follows:

1. The application proposes to a) replace the existing Single Detached Dwelling with a new dwelling on private services and in a similar on-site location to the existing dwelling; and b) construct an addition to the existing detached Garage which will not change its current front yard setback.
 2. Existing buildings and structures that currently encroach on lot lines will be demolished and removed.
 3. There will be no proposed changes to the lot frontage or area.
 4. The subject property is located on a year round municipally maintained road.
 5. The existing septic system is setback \pm 30 m from the high water mark of Rainy Lake.
- **Is the general intent and purpose of the Zoning By-law maintained?**

The subject property is zoned WR Zone which permits a Single Detached Dwelling and accessory buildings, including a detached Garage. The required setbacks for accessory buildings must meet the same setbacks as the principal use on the property (Section 3.1.2) while also not exceeding 5% of the total lot area (Section 3.1.4). The proposed addition to the detached Garage will not affect its current front yard setback, which will be the same setback as the proposed Single Detached Dwelling.

Setback provisions in the Zoning By-law are difficult to satisfy on-site due to the configuration of the subject property. As such, the existing Single Detached Dwelling does not currently meet the required front and rear yard setbacks for the WR Zone (Section 4, Table 5). Given that the proposed new Single Detached Dwelling will be located in a similar on-site location to the existing dwelling, and is also proposing ground floor and upper level decks with incremental setbacks,

the owner / applicant is seeking relief from the Zoning By-law through this application.

As per Section 3.1.11 of the Zoning By-law, a deck may project into any required yard a maximum of 3 m (where the required setbacks for the dwelling are 20 m for the front yard and 10 m for the rear yard); and a deck which is more than 1 m above finished grade must meet the setback requirements of the principal use (where the 20 m setback for the front yard applies). As shown in Attachment A, the application addresses these required setbacks for the ground floor deck (front and rear yard setbacks) and the upper level deck (front yard setback).

As per Sections 3.4.5(ii) and 3.1.15 of the Zoning By-law and shown in Attachment A, the proposed Detached Dwelling and addition to the detached Garage comply with the minimum 15 m setback from the high water mark of Rainy Lake; and the existing septic system also complies with the minimum 30 m setback from the high water mark of Rainy Lake.

Finally, and as noted earlier, the existing buildings and structures that currently encroach on lot lines (i.e., two sheds and one fence) will be demolished and removed.

Based on the above, the application meets the general intent and purpose of the Zoning By-law.

- **Is the variance desirable for the appropriate development of use of the property?**

The proposed variances are desirable and appropriate as they would enable the redevelopment of a Single Detached Dwelling (on private services and in a similar on-site location to the existing dwelling) and an addition to an existing Garage on a property that is designated and zoned to allow for same, but is irregularly shaped. This makes compliance with the setback provisions in the Zoning By-law difficult to satisfy. Furthermore, and as stated above, the proposed development maintains the general intent and purpose of the Official Plan and Zoning By-law.

- **Is the variance minor?**

The proposed variances are considered minor, as outlined below:

1. The setback provisions in the Zoning By-law are difficult to satisfy on-site due to the configuration of the subject property.
2. The proposed Single Detached Dwelling is situated in a similar on-site location to the existing dwelling that is to be demolished and removed; and the proposed addition to the existing Garage is also similarly sited.
3. The subject property is designated and zoned for shoreline residential uses, including a Single Detached Dwelling and detached Garage. The owner / applicant is proposing to build the Single Detached Dwelling on private

services, which is also a common and acceptable use for a shoreline residential property.

Recommendation:

It has been demonstrated that Application A2/25 to request relief from Zoning By-law #56-14 satisfies the four tests of a Minor Variance application required by the Planning Act, c. P.13. It is recommended that Application A2/25 be approved with the following conditions:

1. That the proposed development be permitted with the setbacks cited herein and shown on the drawing attached hereto and labelled as Attachment A.
2. That all necessary permits, subject to applicable law, must be obtained by the owner / applicant to the satisfaction of the Township and other applicable authorities having jurisdiction.
3. That the owner / applicant must obtain a demolition permit from the Township regarding the demolition and removal of all on-site buildings and structures that encroach on existing lot lines of the subject property, and that the foregoing shall occur a) to the satisfaction of the Township, and b) prior to the owner / applicant applying for a building permit from the Township.
4. That a building permit must be obtained by the owner / applicant before construction begins.
5. That the owner / applicant must limit tree removal to only the building envelopes required for the proposed construction, as shown on the drawing attached hereto and labelled as Attachment A.

Sincerely,

J.L. RICHARDS & ASSOCIATES LIMITED

Prepared by:



Tara Michauville, MSc
Planner

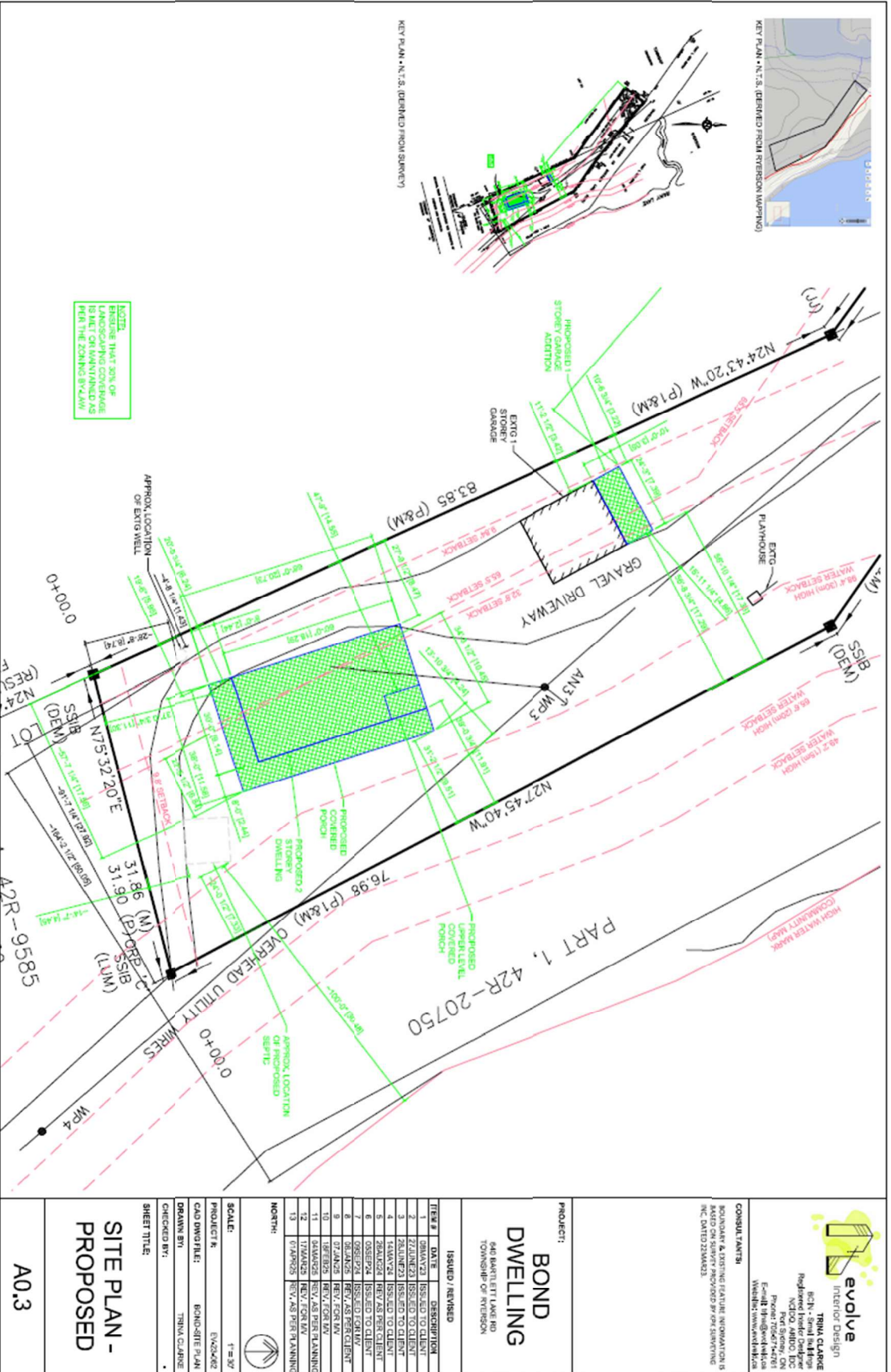
Reviewed by:



Wes Paetkau, RPP, MCIP
Senior Planner

TM:wp

Attachment A - Sketch of proposed development (supplied by applicant)



TRINA CLARKE
 Registered Interior Designer
 NCIID, AIFID, IDC
 Professional No. 14781
 E-mail: trina@evolveid.ca
 Website: www.evolveid.ca

CONSULTANTS:
 SOUVENIR & EXISTING FEATURE INFORMATION IS BASED ON SURVEY PROVIDED BY PER SURVEYING INC. DATED 23/MAR/23

PROJECT:
BOND DWELLING
 640 BARTLETT LAKE RD
 TOWNSHIP OF REVERSON

ITEM #	DATE	DESCRIPTION
1	09/MAY/23	ISSUED TO CLIENT
2	22/JUN/23	ISSUED TO CLIENT
3	05/JUL/23	ISSUED TO CLIENT
4	15/AUG/24	ISSUED TO CLIENT
5	28/AUG/24	REVISED PER CLIENT
6	09/SEP/24	ISSUED TO CLIENT
7	09/SEP/24	REVISED PER CLIENT
8	26/SEP/24	REVISED PER CLIENT
9	02/OCT/24	REVISED PER CLIENT
10	07/OCT/24	REVISED PER CLIENT
11	17/MAY/25	REVISED PER CLIENT
12	17/MAY/25	REVISED PER CLIENT
13	07/JUN/25	REVISED PER CLIENT

SCALE: 1" = 30'

PROJECT #: EV-2024-02

CAD DWG FILE: BOND-SITE PLAN

DRAWN BY: TRINA CLARKE

CHECKED BY: *

SHEET TITLE:
SITE PLAN - PROPOSED

A0.3

Minor Variance - s. 45 (1)

Permission - s. 45 (2)

TOWNSHIP OF RYERSON COMMITTEE OF ADJUSTMENT

RE AN APPLICATION BY: **JESSICA DANIELLE BAKER**
640 Bartlett Lake Road, Sprucedale ON, P0A 1Y0

LOCATION OF PROPERTY: **PCL 26343 SEC SS; FIRSTLY: PT LT 23 CON 1 RYERSON PARTS 8 & 9, 42R9585; SECONDLY: PT LT 22 CON 1 RYERSON & PT LT 23 CON 1 RYERSON; PT 2, 42R9585; S/T PT 8, 42R9585 AS IN LT30068; RYERSON and PCL 26343 SEC SS; PT LT 22 CON 1 RYERSON PT 3, 42R9585; RYERSON (known locally as 640 Bartlett Lake Road)**

PURPOSE OF APPLICATION: **To seek variance from Zoning By-law #56-14 to permit:**

- **a front yard setback of 11.9 m for a dwelling, where 20 m is required (see Section 4, Table 5)**
- **a rear yard setback of 6.2 m for a dwelling, where 10 m is required (see Section 4, Table 5)**
- **a front yard setback of 9.5 m for a ground level deck, where 17 m is required (see Section 3.1.11)**
- **a rear yard setback of 5.9 m for a ground level deck, where 7 m is required (see Section 3.1.11)**
- **a front yard setback of 11.9 m for an upper level deck, where 20 m is required (see Section 3.1.11)**
- **a front yard setback of 17.3 m for a garage addition, where 20 m is required (see Section 3.1.2)**

EFFECT OF APPLICATION: **If approved, the variances would permit the construction of a new Single Detached Dwelling and an addition to an existing detached Garage, subject to all other provisions of the Zoning By-law.**

TAKE NOTICE THAT an application under the above file number will be heard by the committee of adjustment on the date, and at the time and place shown below, under the authority of section 45 of the *Planning Act*.

DATE: **April 22, 2025** TIME: **5:30 p.m.**

PLACE: **Township of Ryerson Council Chambers**
ADDRESS: **28 Midlothian Road, Burk's Falls, P0A 1C0**

LAND DESCRIPTION - A description of the subject land, or a key map showing the location of the subject land, is attached.

ADDITIONAL INFORMATION - Additional information regarding the application to be available for public inspection starting:



DATE: **April 9, 2025** TIME: **8:30 a.m. – 4:00 p.m.**
PLACE: **Township of Ryerson**
ADDRESS: **28 Midlothian Road, Burk's Falls, POA 1C0**

OTHER APPLICATIONS - The subject land is the subject of an application under the Act for:

___ Approval of a plan of subdivision (under section 51) File # _____

___ Consent (Under section 53) File # _____

PUBLIC HEARING - You are entitled to attend this Public Hearing in person to express your view about this application or you may be represented by an agent for that purpose. If you wish to make written comments on this application, they may be forwarded to the Secretary-Treasurer at the address noted below.

FAILURE TO ATTEND HEARING - If you do not attend this public hearing, it may proceed in your absence and, except as otherwise provided in the *Planning Act*, you will not be entitled to any further notice in the proceeding.

NOTICE OF DECISION - A copy of the decision of the Committee will be sent to the applicant and to each person who appeared at the Hearing and who has filed with the Secretary Treasurer a written request for Notice of the decision.

Dated this 9th day of April, 2025

Nancy Field, Secretary Treasurer
Township of Ryerson Committee of Adjustment
28 Midlothian Road,
Burk's Falls, On POA 1C0
TEL: 705-382-3232
FAX: 705-382-3286
clerk@ryersontownship.ca

**Township of Ryerson
Minor Variance A02/25**



Key Map

Subject Property: 640 Bartlett Lake Road (PCL 26343 SEC SS; FIRSTLY: PT LT 23 CON 1 RYERSON PARTS 8 & 9, 42R9585; SECONDLY: PT LT 22 CON 1 RYERSON & PT LT 23 CON 1 RYERSON; PT 2, 42R9585; S/T PT 8, 42R9585 AS IN LT30068; RYERSON **and** PCL 26343 SEC SS; PT LT 22 CON 1 RYERSON PT 3, 42R9585; RYERSON)

